

24 May 2023

City of Sydney
dasubmissions@cityofsydney.nsw.gov.au

Dear Ms Thompson

Re: D/2022/673 - 43 Toxteth Road GLEBE NSW 2037 - Attention Chelsea Thompson

The property is a very fine Edwardian house which is a Contributory item in the Toxteth Heritage Conservation Area. It is located on a corner site on one of the most important streets in the HCA. The house was specially designed to address its corner site. The elevations to Toxteth Road and Maxwell Road are equally important.



Fig 1 The house exhibits considerable panache in the way it addresses the corner block. It has three gables, one on the SW corner facing Toxteth Road, one on the diagonal facing the corner of Toxteth Road and Maxwell Road and one facing east on Maxwell Road. The front gate is set at the diagonal emphasising that this house has a frontage to two streets.

Part of the Maxwell Road elevation has been compromised by:

- I. the alteration of the veranda on the northern end of the house by replacement of the bull nosed iron roof with a Marseille tiled skillion and enclosing the verandah with a brick wall
- II. an obtrusive masonry wall (see Fig 2)



Figure 2 The brick wall on the Maxwell Road frontage is obtrusive

The HCA's Heritage Inventory Report identifies that *the Toxteth Estate is significant as one of Sydney's most important turn of the century townscapes with a high degree of architectural intactness.*

To protect its significance it has a specific policy to *encourage recovery of the original character during renovations and building upgrade.* This is a major development which is estimated to cost \$1,270,500 so it is not unreasonable to require recovery of some of the original character of the property on the Maxwell Road frontage.

The Maxwell Road Veranda

The Society is pleased to see the amendments to the original DA include recovering the character of the Maxwell Street veranda (re Figure 3).

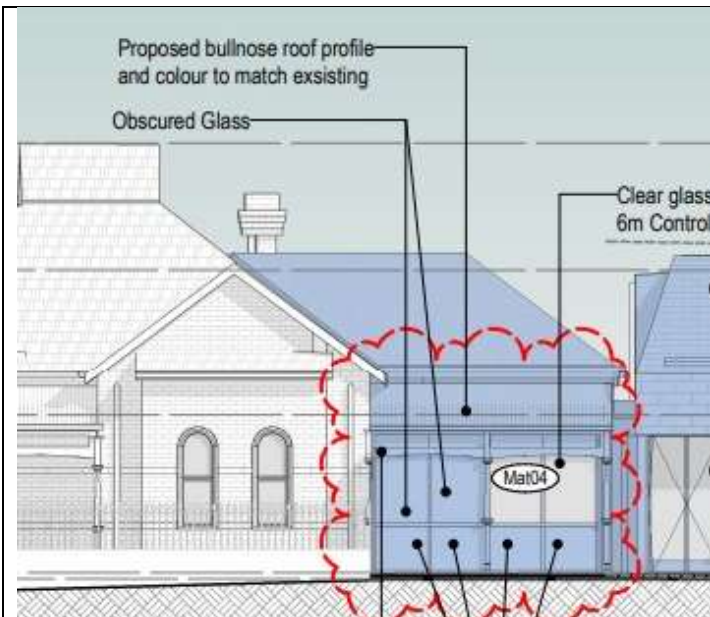


Figure 3 The amended scheme for the Maxwell Street verandah is well considered

The design of the brick fence in front of the verandah is too high, it should be no higher than the existing fence, which is of sufficient height for privacy.



Figure 4 The existing boundary wall on the Maxwell Street verandah is obtrusive



Figure 5 The proposed wall with its increased height is more intrusive than the existing wall

The transition from the original boundary fence to the new fence needs to be better handled. There are many examples in the Toxteth Estate as to the traditional way transitions in the height of fences were managed (see Figs 6 and 7 below).

The NSW Heritage Office publication Design in Context provides good guidance as to how the design of the fence should be approached with the principle that *details that contribute to the character of a conservation area or heritage item should be identified. They can inform or inspire the design of the new building*(NSW Heritage Office, Design in Context, p. 13)



Figure 6 The original fence of 43 Toxteth Road shows the traditional way in which changes of height were transitioned and how the top of the masonry fence was defined with a capping



Figure 7 Another example of the way height transitions were managed on traditional fences in the Toxteth Heritage Conservation Area



Figure 8 The proposal is for a higher fence than the existing and has an abrupt and poorly articulated transition in height



Figure 9 The fence should be redesigned using the principles of the NSW Heritage Office's Design in Context referred to above. It should be lower, transition in height and have a capping.

The Garage

The change of the car entry from Maxwell Road to Arcadia Lane is welcomed. The Heritage Inventory Report for the HCA notes that the Heritage Conservation Area is noted for its *landscape qualities*. It recommends to protect significance that there should be:

- *Landscape screening,*
- *No dormers to the street frontage, and*
- *Encouragement of open fences which enhance the garden setting of Glebe*

The proposed elevation does not meet these criteria (re Figure 10 below). The landscape screening is inadequate comprising a planter box on the roof of the eastern extremity of the garage. The garage is not in accordance with Section 4.2.2 of the DCP which requires setbacks to be consistent with setbacks in heritage conservation areas. Having the garage setback from Maxwell Street would provide the opportunity for more landscape screening and would assist in meeting the 15% canopy cover (DCP Clause 3.5(2)) and the 15% deep soil objective (DCP Clause 4.1.3.4) . The provision of additional canopy cover would also be a way of meeting the objectives in relation to landscape screening.



Figure 10 1 The amended elevation for the contemporary addition on Maxwell Road

We note that the balconies on the western elevation have been eliminated, the glazing reduced and screens provided but believe have concerns that not all the visual privacy problems have been resolved.

Recommendations

- That the fence in front of the original house (see Figs 8 and 9 above) be reduced in height and redesigned to echo the traditional fencing details (as explained on pages 2 and 3 above)
- That the screening of the modern addition on Maxwell Road be improved and the requirement for canopy and deep soil planting be fulfilled (see above)
- That the impact on the privacy of number 45 Toxteth Road be reviewed.

Yours sincerely

Ian Stephenson
President